



Community Recreation Center Pagosa Springs Colorado



January 2008

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ARCHITECTURE



SCOPE OF SERVICES - Attachment "A"

1.0 PHASE ONE - PROGRAMMING REVIEW, CONCEPTUAL DESIGN & COST ANALYSIS

Activity	Scope Description
1.1	<p>Council Approves Selection of Consultant / Contract Approval</p> <ul style="list-style-type: none"> Notification of Consultant and Teaming Strategy Contract approval Work Plan Scope, Schedule and timeline approval Request documentation for recommended site(s)
1.2 Duration: 2 Weeks	<p>Kick Off Meeting Preparation</p> <ul style="list-style-type: none"> Planning and Research for the following: <ul style="list-style-type: none"> Preliminary program review discussion Detailed Schedule and timeline development Priorities Discussion Review work to date, surveys, programs, plans and all previous data Schedule, budget, and project delivery objectives Discuss Community input and information process
1.3 Trip 1	<p>Workshop #1 / Kick Off Meeting - Mission/Goals, Conceptual Program</p> <ul style="list-style-type: none"> Introduce team and discuss conceptual plan process <ul style="list-style-type: none"> Project vision, goals and objectives Involvement plan for County, potential partners, neighboring communities, and stakeholders Program Review Discussion Schedule, budget, and project delivery objectives Community input and information process Review program components to help re-re-define a new philosophy and program that will meet the town's needs Tour site(s), and discuss site analysis opportunities and challenges
Assumes Meetings Occur the day of or following Workshop 1	<p>Community Meeting # 1</p> <ul style="list-style-type: none"> Introduce Project Team and discuss Programming Process Present work-to-date with staff and committees Discuss potential project mission statement and goals Discuss preliminary program and concepts of cost recovery objectives Participatory activities for project input to include: <ul style="list-style-type: none"> National slide tour of similar recreation centers to give committee a visual picture of the potential program components Play our "Program Card Game" for program building components as a data collecting device, build a wish list and to build consensus among diverse parties (game to include sizing and space allocation requirements for each program component area to meet current and future demands within the community) Collect citizens' comments on Site and Program Alternatives

Scope of Services

The scope of services shown to the left describes the process the Town of Pagosa Springs used to gather community input for the conceptual design of a Community Recreation Center.

The scope of services was established to provide the citizens of Pagosa Springs and adjacent communities the opportunity to participate in the design process. A series of staff meetings, user group meetings, meeting with interested stakeholder and three public meetings where held to gather input, ideas, comments, and reactions through the programming and design process.

The presentations for each public meeting are attached to this report summarizing the process and showing the evolution of the program and the alternative layouts and building elevations explored to arrive at the recommended approach for the Community Recreation Center for the Town of Pagosa Springs.

October 1, 2007

Activity	Scope Description
<p>1.4 Duration: 3 Weeks</p>	<p>Work Period 1 - Project and Program Evaluation / Plan Alternatives</p> <ul style="list-style-type: none"> • Consolidate previous programming and community center design ideas • Prepare site plan alternatives exploring: <ul style="list-style-type: none"> • <i>Vehicular and pedestrian circulation</i> • <i>Environmental criteria (sun, light, topography, drainage...)</i> • <i>Utilities, service access, maintenance issues</i> • Prepare floor plan alternatives exploring: <ul style="list-style-type: none"> • <i>Program relationships and adjacencies for each floor</i> • <i>Internal circulation, efficiencies, mechanical and support spaces</i> • <i>Conceptual building massing and forms (elevations and materials at next workshop)</i> • Prepare approaches to exterior elevations to include: <ul style="list-style-type: none"> • <i>Massing and roof characteristics</i> • <i>Building sections showing interiors of key spaces and vertical relationships (two story spaces, atriums, large volumes...)</i> • <i>Window fenestrations</i> • <i>Exterior materials</i> • Prepare Project Budget Model Matrix based on suggested program to include: <ul style="list-style-type: none"> • <i>Program based construction budget</i> • <i>Suggested fixture, furniture and equipment budget</i> • <i>Site & utility improvement / restoration budget</i> • <i>Fees and development budget</i> • <i>Contingencies</i> • <i>Future Phases</i> • <i>Alternatives</i>
<p>1.5 Trip 2</p>	<p>Project Team Workshop 2 - Plan Alternatives & Budget</p> <ul style="list-style-type: none"> • Discuss deliverables listed below • Review site plan alternatives and suggest recommended modifications for further study to arrive at recommended site plan • Review floor plan alternatives and suggest recommended modifications for further study to arrive at recommended floor plan • Review elevation alternatives and suggest recommended modifications for further study to arrive at recommended elevations • Review Project Budget Model against goals • Establish agenda for Community Meeting 1 <p>Deliverables:</p> <ul style="list-style-type: none"> • Site Plan Alternatives • Floor Plan Alternatives • Elevation Alternatives • Project Budget Model Matrix • Meeting Minutes • Agenda for Community Meeting 1 • Review prepared presentation for Community Meeting 1
<p>1.6 Assumes Mtgs Occur the eve. following Workshop 2</p>	<p>Community Meeting - Plan Alternatives</p> <ul style="list-style-type: none"> • Introduce Project Team and discuss Conceptual Plan Process • Present work-to-date with staff and committees • Present project mission statement and goals • Collect citizens' comments on Site and Floor Plan Alternatives

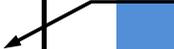
November 15, 2007



Scope of Services

Activity	Scope Description
1.7 Duration: 4 Weeks	<p><u>Work Period 3 - Prepare Final Graphics Package for Council Presentation</u></p> <ul style="list-style-type: none"> • Prepare recommended plan, sections and elevations • Prepare Draft Conceptual Design Report to include: <ul style="list-style-type: none"> • <i>Project Design Description Narrative</i> • <i>Project Program of Spaces</i> • <i>Project Budget Model</i> • <i>Reduced Plan, Elevation, and Perspective Drawings</i> <p><u>Project Team Review</u></p> <ul style="list-style-type: none"> • Review work to date and make recommendations for revisions using fax, fed-express and tele-conferencing <p><u>Deliverables:</u></p> <ul style="list-style-type: none"> • Conceptual Design Report • PowerPoint Presentation of draft concept design for Community Workshop (This presentation becomes basis for Council Presentation) • Phase 2 plan and schedule (Implementation Plan)
1.8 Duration: 1 Day	<p><u>Council Presentation - Concept Design and Cost Analysis Report</u></p> <ul style="list-style-type: none"> • Present Final Conceptual Design and receive comments • Presentation with PowerPoint showing all graphics and animations • Distribute Conceptual Design Report • Presentation Boards on display • Present the Phase 2 recommendations (Implementation Plan)

December 12, 2007



Pagosa Springs Community Center
FACILITY PROGRAM

Program Space	Selected Program Gross Area	Selected Program Cost	Notes
Facility Administration Spaces	1,215 SF	\$ 210,000	2 Offices, 4 staff workstations, work room, conference room, reception desk, storage and support spaces
Required Building Support Spaces	6,207 SF	\$ 1,448,000	Lobby, lounge, lockers, mechanical spaces, storage, restrooms, janitorial, etc.
Child Watch/ Babysitting	1,095 SF	\$ 244,000	Babysitting room with play area, desk, tot toilet, & storage Outdoor play yard with play equipment
Flex Space / Activity Area	1,510 SF	\$ 338,000	Classroom for variety of activities including clubs, tot gym, meetings, tumbling, mini gymnastics, etc
Multi-Activity Court (MAC) Gym	9,450 SF	\$ 2,076,000	Multi-purpose gym 76' x 100' fits high school size gym, or 2 cross court gyms, or two volleyball courts Includes storage space of 500 sf
Elevated Walk/ Jog Track	2,625 SF	\$ 335,000	18 laps per mile, 2 lanes
Weight/ Fitness	4,342 SF	\$ 962,000	Fits approx. 40 - 50 pieces of cardio vascular, circuit training and free weight equipment. Stretching area and storage.
Aerobics/ Dance Studio	2,065 SF	\$ 447,000	Accommodates 30 people in fitness type class room with sprung wood floor, wall mirrors, dance barre, & storage
Climbing Wall	313 SF	\$ 249,000	2 story high space for 5-6 climbers
Aquatics Support	337 SF	\$ 59,000	Pool mechanical, treatment, storage, life guard offices, pool manager office, and janitorial
6-Lane x 25-Yard Lap Pool	7,115 SF	\$ 2,393,000	6 lanes x 25 yards w/ circ.
Diving Board - 1 Meter	0 SF	\$ 50,000	Included in deep end of Lap Pool
Leisure Pool	7,455 SF	\$ 2,992,000	Includes current channel, zero depth beach and play area, water benches, tumble buckets (or similar play equipment), geysers, family spa, water slide, and deck areas. Outdoor sunning deck.
Wet Classroom/ Party Room(s)	944 SF	\$ 208,000	Classroom type space suitable for wet uses including parties, swim classes, lifeguard classes, scuba classes, and other classroom activities.
TOTAL PROGRAM AREA	44,674 SF	\$ 12,011,000	
Soft Costs These costs include site and parking development associated with recreation center (not ponds and total park development), furniture and equipment, climbing wall, fitness equipment, fees, testing and permitting.	33%	\$ 16,000,000	

Project Design Description Narrative

Site Relationships

The recreation center site is proposed to be located on the current site of the water treatment lagoons, which are proposed to be replaced with an upgraded treatment facility farther to the south. The site is located at the south end of Pagosa Springs directly across Fifth Street from the Pagosa Springs High School and adjacent the new Athletic Sports Complex. A new skate park is planned directly north of the recreation center site. The San Juan River is on the east side of the site. The total park site area is estimated to be approximately 13.5 acres although no exact survey has been provided.

The Recreation Center site is proposed to be located at the north end of the future park site to be close to the Sports Complex and the high school leaving the remainder of the park site for future park activities. The Recreation Center site would be approximately 4.5 acres. This would accommodate the recreation center, the entry plaza, the parking areas, service and loading and open space buffers and side yards. The remaining area of the park is approximately 9 acres. The existing lagoons may be renovated into fishing ponds and ice skating ponds in the winter. The bulk of the site can be programmed into picnic areas, trails, open space or other sports activities. There is a concept for a future outdoor amphitheater at the east side of the Recreation Center taking advantage of the location near the river with excellent views. The Center's locker and meeting rooms could provide dressing rooms, rehearsal rooms, and green room facilities for the amphitheater.

The Recreation Center is proposed to have a parking lot capable of providing for 180 cars. This is a comfortable accommodation for parking based on comparable recreation centers although additional parking would be available in the sports complex parking areas if needed. Service and fire access roads would be provided to the north side for building maintenance and trash removal and to the south side for pool equipment servicing and water treatment deliveries.

A vehicular drop off loop is centered in the parking leading to an entry plaza for the Recreation Center. This entry plaza would accommodate benches, site walls, flag poles, gardens, bike racks and connections to the San Juan River and Town of Pagosa Springs Trail System.

An outdoor pool patio is on the south side of the center overlooking the ponds. Building expansion could be provided to the north if future community room space is needed or to the east if additional gym space or fitness activity spaces are needed.



Project Design Narrative

Functional Relationships

The recreation center is proposed to be on two levels with the main level having both recreational and community spaces and the upper level having the fitness / weight room and running track.

The main entry faces the parking lot on the west side and opens directly into a large two story lobby/lounge area. From this Lobby/Lounge all the functions of the recreation center can be viewed to provide an easy way of knowing where all activities are and to give a dynamic view to these activities. Directly upon entering the building the front desk greets all visitors and gives helpful information for the use of the center. People wanting to participate in fitness, gymnasium, climbing wall, or pool activities pass through a control point where they pay a fee or show an ID card for access.

After passing the front desk the locker rooms are directly to the right. Two types of lockers are provided. The standard men's and women's locker facilities with restrooms, showers, and lockers. Also provided are private family cabanas each with a toilet, sink, bench and shower. These are great for families with kids and for those needing assistance.

The pool spaces are accessed by passing through the locker rooms. The family leisure pool has a variety of fun aquatic activities for a wide range of ages. A current channel is not only fun for the kids to float around in but also provides for therapy and low impact strength training during specially programmed times. This is popular with seniors and people in physical therapy. The water slide provides an exhilarating ride for kids and early teens. The splash down area also provides a warm water area for water aerobics and swim classes when the slide is not in use. The zero depth beach provides a fun place to tots to get their feet wet and play in geysers as well as kids to play in water spray features and other vertical water toys. The beach also provides an easily accessible entry into the pool for folks of all ages and abilities. The family spa provides a jetted warm water spa suitable for all ages as it would not be too hot for kids but warm enough for a relaxing experience for adults.

The 6 lane competitive pool is sized for 25 yard competitions with a single row of spectator seating along each side allowing for up to 70 to 80 spectators. The party room can be used as the meet management room and for staging teams. Spectators arrive at the pool directly from the lobby avoiding having to pass through the locker rooms.

The climbing wall is accessed past control to regulate its use but it is located in the lobby space so spectators may watch their kids or peers without passing through control. The weight and fitness rooms are upstairs overlooking the lobby space. The fitness room can accommodate approximately 50 to 6 pieces of cardio vascular equipment, circuit training equipment and stretching and free weight areas. From the upper level fitness areas spectacular views to mountains to the north can be seen. The running track is directly adjacent the fitness room for cross training and is suspended from the gym ceiling. The track is two lanes and is 18 laps per mile long.

Project Design Description Narrative

Functional Relationships

The community oriented activities include those spaces that are in front of the control desk, that is, those spaces not typically needing controlled access. These spaces cluster around the Lobby/Lounge which is the heart of the Recreation Center. The Lobby / Lounge can include seating areas, tables for games, a counter for computer stations, wireless access, bookshelves, magazine racks, community information screen, large screen TV area, viewing into the pool and to the climbing wall and a fun gathering place for the community.

The child watch / baby sitting room is at the front of the lobby where building users can have their children watched by a caring staff member while they work out, swim, or participate in other activities. The Party Room is a multi use wet classroom directly adjacent both pools where not only birthday parties can occur but also swim classes, lifeguard training, scuba classes, art classes or any class that would benefit from a durable, easily cleaned room.

On the north side of the lobby is a large multi-use community room that can be acoustically subdivided into two useable community rooms. The left side would have a sprung wood floor suitable for fitness classes, aerobics, dance, martial arts, spinning, and other fitness activities. There would be mirrors on two walls and ample window space taking in the mountain views. The right side would be a flexible room with a synthetic sprung floor allowing a variety of activities from games, to kids camps, to mini gymnastics as well as meetings for clubs, community groups and additional parties. A small kitchenette would be built into on wall allowing for a minimal catered food service.

The administration areas back up the front desk and include two private offices for management staff. 4 workstations for staff, a work room, storage and support areas. A conference room opens from the office for staff meetings and training but also opens to the lobby for community use, clubs, game room, cards and other programmed activities.



Project Design Description Narrative

Exterior Image and Materials

The exterior image of the Recreation Center was arrived at through a series of public meetings where a variety of images were shown from Pagosa Springs past and historic architecture, from current buildings in the community, from regional images, from the natural landscape and from traditional mountain vernacular.

The community responded most favorably to an image that brought the character of Pagosa Springs history as a resort community together with the traditional / historic flavor of the Colorado Rocky Mountains.

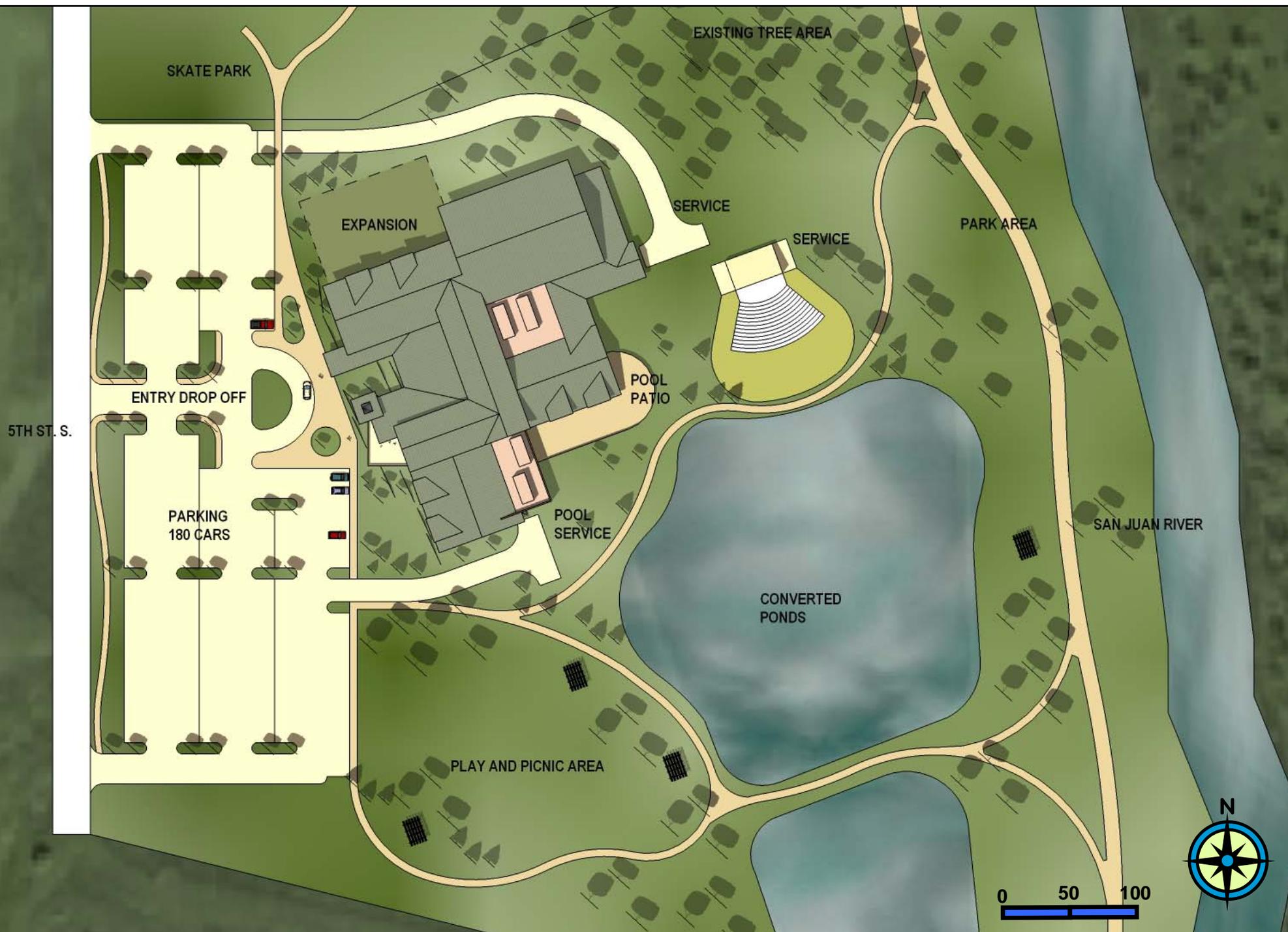
Pitched roofs with a variety of shed forms dominate the massing. A vertical appearance is promoted through the use of steep pitches, vertical board and batten siding, vertical window treatment, and tall columns supporting truss work.

The exterior materials should evoke the mountain environment using native stone, wood-like siding materials and trim, large glass areas and natural tones and hues. A solid stone or masonry base is shown around the building. A large pitched shed type roof covers a broad porch to give identity to the entry as well as a place to wait outside the building.

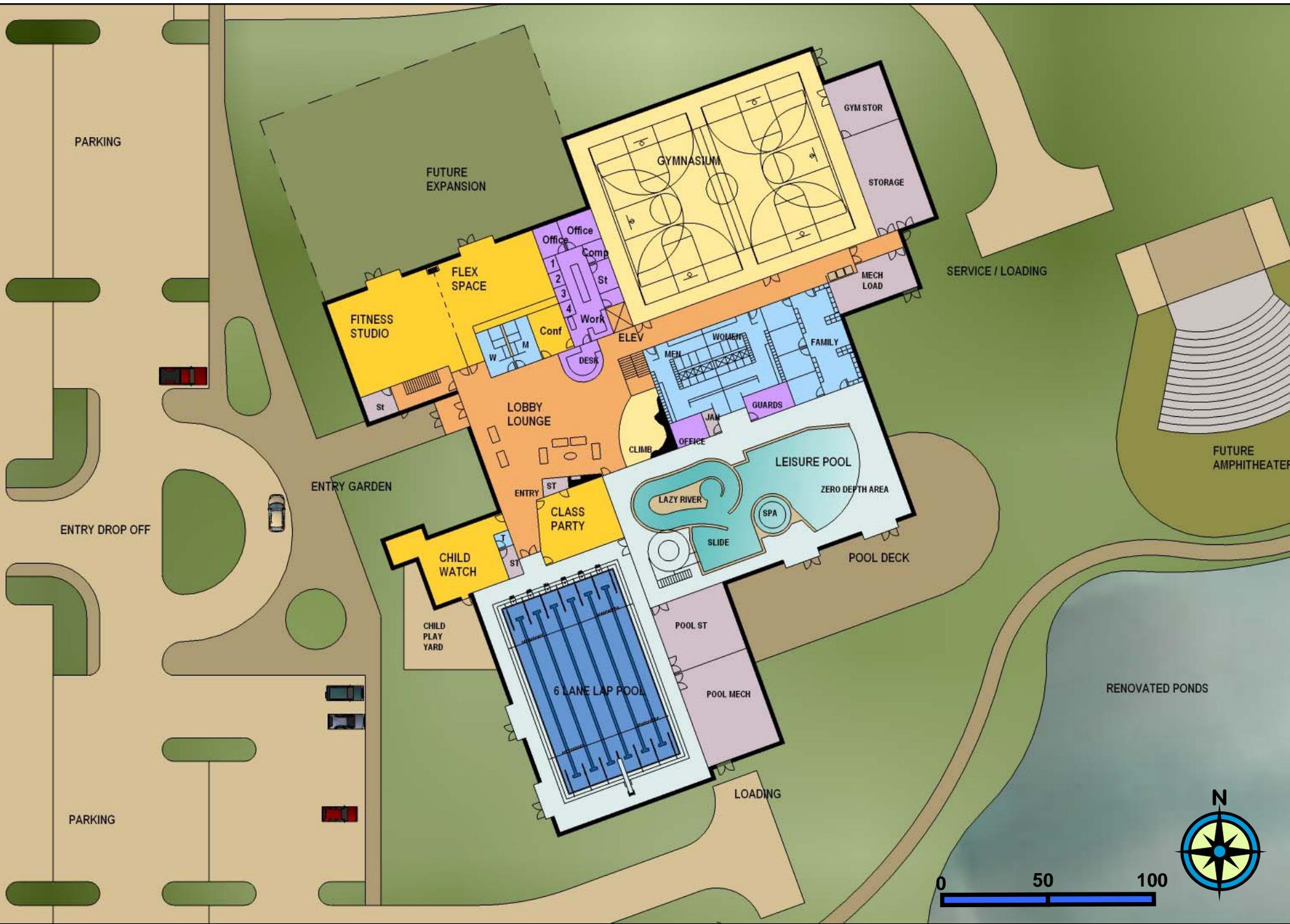
Large overhangs protect the exterior and are supported by large wood glu laminated brackets. Judicious use of large window walls brings ample daylight into the key spaces and lets the interior activities be visible to the exterior.

The roof material is proposed to be a durable standing seam metal roof in an organic green tone. Other options include concrete tile to give a wood shake or shingle look to the roof.





Site Plan



Entry Level Plan



Upper Level Plan



Park View from West

Exterior Views



Aerial View from Southwest

Exterior Views



Aerial View from Northwest

Exterior Views



Entry View from Southwest

Exterior Views



Entry View from Northwest

Exterior Views



Pond View from Southeast

Exterior Views

Town Council

Mayor Aragon
Angela Atkinson
Darrel Cotton
Tony Simmons
John Middendorf
Stan Holt

Parks and Recreation Commission

Brian Smith - **Chair**
Scott Miller
Maddie Beserra
Jim Shaffer
Jonathan King
John Perea
Clifford Lucero
Veronica Doctor
Matt Aragon

Tom Carosello, Recreation Supervisor

Barker Rinker Seacat Architecture

Ken Berendt
Chuck Musgrave